Ansonia-Derby Temporary Regional School Study Committee Facilities

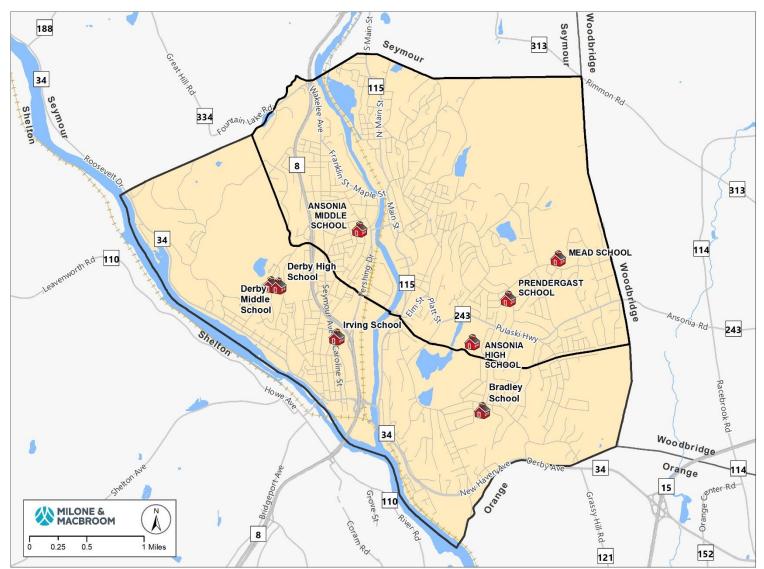








Facilities: Ansonia and Derby













Facilities: Mead Site Conditions

Location: 75 Ford Street

Site Size: 21.3 acres

- Significant wetland corridor on the west portion of the site and steep slopes
 - limit parking access and building expansion opportunities
- Limited outdoor play areas
- School bus circulation conflicts with parent/child pick-up



Mead Elementary School



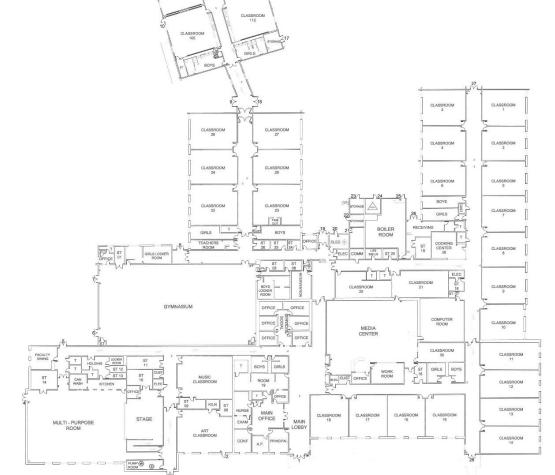






CLASSROOM

- Built in 1968
- Additions in 1995
- Portables in 2016
- 81,051 square feet



Mead Elementary School









Architectural

- About 50% of the school appears to have asbestos containing floor tiles
- Accessible route from the parking lot, tactile warning, signage, and slopes, etc. need to be further investigated for compliance
- Accessible workstations if existing are not in full compliance for all program areas
- Kiln room not properly separated and rated enclosure from other areas
- Windows throughout portions of the school still need to be replaced for energy codes
- About 40% of the roofing is EPDM with loose walkway tiles and is near end of life.
- Cafeteria serving area requires accessible stations and no separation exists between toilet and changing facilities.
- Accessible ramps need to be measured in detail to determine if they exceed 1:12 slope
- Several toilets require renovation to provide accessibility.

Electrical

- Generator & transfer switch are near end of life & should be replaced
- Light fixtures should be replaced with LED
- light fixtures could be run on generator power to eliminate dual head fixtures or emergency battery packs
- Fire alarm devices are old but appear to be functioning. Future projects should consider upgrades.
- Multiple rooms were missing fire alarm horn/strobes or strobes
- Several rooms only had a fire alarm horn & no strobe
- Multiple exit doors had a pull station next to them but no exit sign
- Pull stations located in areas with no exit door
- Lots of rooms/classrooms were missing occupancy sensors
- Daylight harvesting sensors could be added to preserve energy









Mechanical/ Plumbing/ Fire

- Fire Protection system appears to be complete and up to current codes
- Roof mounted HVAC is getting very close to end of service life and should be replaced











Facilities: Prendergast Site Conditions

Location: 59 Finney Street

Site Size: 7.4 acres

- Bus pick-up/drop-off is satisfactory, circulation could be improved
- The site is of adequate size
 - Undeveloped land on the south side of the school may support limited building expansion
 - Opportunities exist to expand parking
 - Outdoor play areas and courts can be redesigned to accommodate additional capacity



Prendergast Elementary School







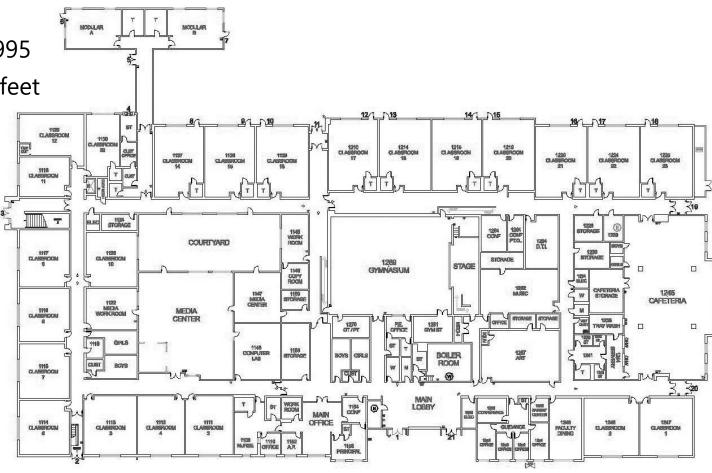


Facilities: Prendergast Facility Conditions

Built in 1965

Additions in 1995

87,052 square feet



Prendergast Elementary School











Facilities: Prendergast Facility Conditions

Architectural

- Accessible route from the parking lot, tactile warning, signage, and slopes, etc. need to be further investigated for compliance.
- Accessible workstations if existing are not in full compliance for all program areas
- Not all roof ladders and roof access ladders conform to current OSHA requirements
- Roof railings need to be added at portables for units within 10'-0" of the edge
- Portables are failing and in need of upgrade or removal
- About 50% of the roofing is EPDM with loose walkway tiles and is near end of life.
- Cafeteria serving area requires accessible stations and no separation exists between toilet and changing facilities
- Ramps to the gym should be measured for slope appear to exceed 1:12
- Several toilets require renovation to provide accessibility.

Electrical

- Light fixtures should be replaced with LED
- In most electrical rooms mechanical ductwork exists over electrical panels violating code
- Emergency light levels should be surveyed for compliance some areas did not appear to meet minimum requirements.
- Fire alarm devices are aging but should still be functioning. Future projects should consider replacement
- Multiple rooms were missing fire alarm horn/strobes or strobes
- Several rooms only had a fire alarm horn & no strobe
- Multiple exit doors had a pull station next to them but no exit sign
- Pull stations located in areas with no exit door
- Rooms/Classrooms throughout the building missing occupancy sensors or existing sensors not functioning properly
- Daylight harvesting sensors could be added to preserve energy









Facilities: Prendergast Facility Conditions

Mechanical/ Plumbing/ Fire

- Fire Protection system appears to be complete and up to current codes
- Roof mounted HVAC is getting very close to end of service life and should be replaced
- Replace existing boilers that are at the end of service life and should be replaced











Facilities: AMS Site Conditions

Location: 115 Howard Avenue

Site Size: 4.5 acres

- The site is undersized with an over-sized facility
 - Inadequate levels of parking on site impact neighborhood traffic
 - Bus drop-off/pick-up do not function well raising safety concerns for students accessing the school site
 - Lack of usable outdoor space although existing PreK play areas are well maintained



Ansonia Middle School

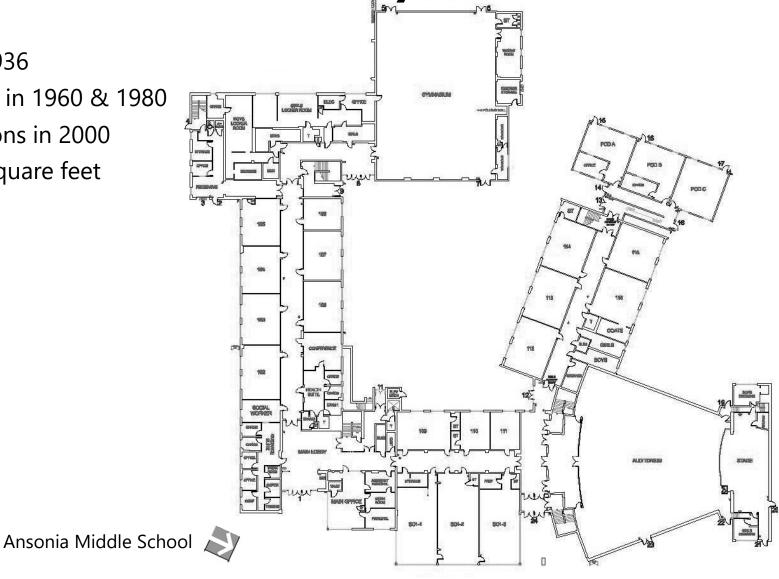








- Built in 1936
- Additions in 1960 & 1980
- Renovations in 2000
- 134,211 square feet











Architectural

- Accessible route from the parking lot, tactile warning, signage, and slopes, etc. need to be further investigated for compliance.
- Accessible workstations if existing are not in full compliance for all program areas
- Locker rooms were dilapidated, in need of renovations, and toilet facilities did not meet current codes
- Furniture and casework throughout the school near end of life and in need of replacement
- VCT floors aging and potentially in need of repairs in some areas or replacement
- Corridor Acoustical ceilings in need of replacement
- Foliage observed overgrowing one corner of the roof
- Cafeteria serving area requires accessible stations and no separation exists between toilet and changing facilities
- Clock and bell system is aging and appeared functional but should be replaced
- Original chalkboards identified throughout which may have asbestos containing glue daubs to be removed
- Nurse suite did not have an accessible hand wash sink
- Area of refuge signage not up to current codes where provided
- Stairwells need to be examined for pressurization causing too much required force to open egress doors
- Kiln room not properly rated for separation from other spaces including door
- Science labs well outdated and in need of renovations
- Several dead-end corridors exist throughout the school which may be in violation of fire safety codes for common path of travel, etc. Further measurements and code research required
- Untreated wood roof decking observed outside the auditorium further code investigation required
- Electrical panels very close to means of access and egress from cafeteria exposed to public traffic and should be enclosed.
- Stage appears to exceed 50'-0" and if greater than 1500 sq. ft. would require full fire separation, standpipes, fire curtain/shutter, etc.
- Further survey of the elevator, investigation of the shaft, pit, etc. is required for compliance current codes
- Auditorium slopes and egress paths are not compliant with code. Seats are original and accessibility compliance needs to be reviewed further
- Stage needs further review for code requirements of fire separation from auditorium









Electrical

- Fire alarm devices are aging but should still be functioning.
 Future projects should consider replacement
- In most electrical rooms mechanical ductwork exists over electrical panels violating code
- Electrical panels located in areas where kids could easily get to them & they are not locked or secured properly
- Multiple rooms missing required fire alarm horn/strobes or strobes
- Some rooms had a fire alarm horn/strobe that doesn't appear to cover the entire room
- Smoke & heat detectors missing from several areas where required by current codes
- Several rooms only had a fire alarm horn & no strobe
- Fire alarm pull stations were located further than 5' away from the exit door which is a code issue
- Fire alarm pull stations located in areas where not required
- Some spaces and doors missing the required illuminated exit signage
- Occupancy sensors were old & should be replaced, as well as several rooms missing occupancy sensors
- Light switches were broken in some rooms
- Daylight harvesting sensors could be added to preserve energy

Mechanical/ Plumbing/ Fire

- Fire Protection system appears complete & up to code
- Standpipes were not observed at stage and likely required
- Unit ventilators do not meet todays codes
- Grade mounted chiller is beyond serviceable life and should be replaced
- Girls lavatory, opposite room 211, requires a transfer duct
- Ventilate storage rooms
- Electrical closet supply is taped shut
- Provide exhaust fan in nurse lavatory
- Water heater exhaust at the chimney is not properly sealed per code requirements
- Domestic water requires a proper reduced pressure valve at incoming service per local water authority.











Facilities: AHS Site Conditions

Location: 20 Pulaski Highway

Site Size: 60.5 acres

- Wetlands and drainage courses are extensive
- Area west of the reservoir holds potential for new development
- The AHS facility is in good condition
 - Walkways are in good condition
 - Parking is adequate
 - Bus drop-off/pick-up functions well



Ansonia High School

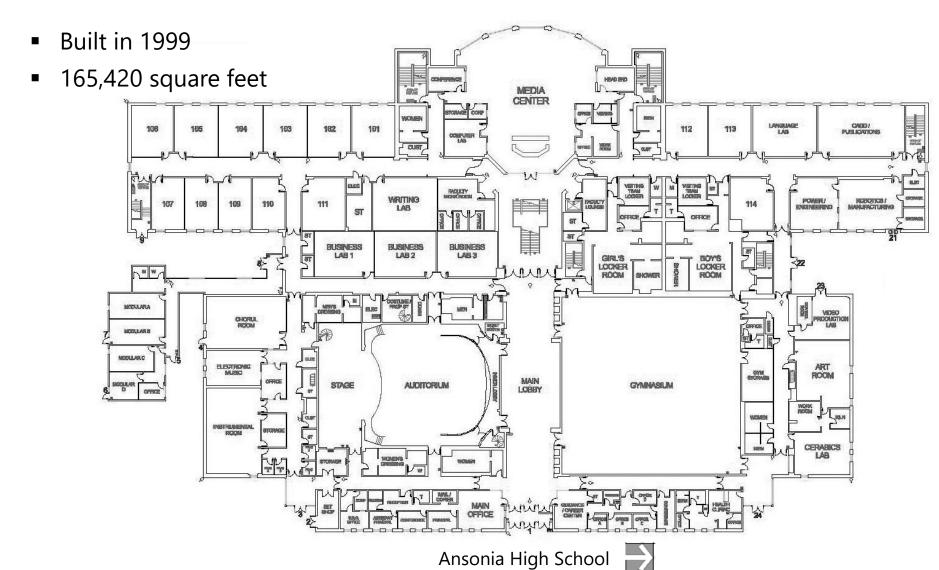




















Architectural

- All roofing has reached the end of its expected life.
 Roof is currently ballasted EPDM and has solar panels installed which will cause additional replacement expense.
- Accessible workstations if existing are not in full compliance for all program areas
- Portables are failing and in need of either upgrades or removal
- Area of Refuge Signage not installed in areas where it's provided
- Accessible route from the parking lot, tactile warning, signage, and slopes, etc. need to be further investigated for compliance
- Cafeteria serving area requires accessible stations and no separation exists between toilet and changing facilities
- Lecture hall does not have accessibility to "dispersed seating" because risers exist a ramp should be provided
- Several violations listed in the 504 report provided remain incomplete and need to be rectified

Electrical

- Stairwell lighting was not adequate for proper egress and most fixtures were not upgraded to LED as the majority of the school.
- Aisle lighting needs to be added to the auditorium
- EPO switches in some rooms were not accessible
- Illuminated Area of refuge signs missing from outside of the area of refuge
- There were several areas where there are non-GFI receptacles within 5' of a sink
- Solar panels are only approximately 15 years old, but will need to be removed & reinstalled when the roof is redone
- Multiple rooms were missing fire alarm horn/strobes or strobes
- Some rooms had a fire alarm horn/strobe that doesn't appear to cover the entire room
- Fire alarm pull stations were located further than 5' away from the exit door are not compliant
- Some spaces and door missing code required illuminated exit signs.
- Occupancy sensors were old & should be replaced, as well as several rooms missing occupancy sensors
- Daylight harvesting sensors could be added to preserve energy
- Emergency lighting in some areas didn't appear to cover the space appropriately according to code
- Some exit signs appeared to not be illuminated or were broken









Mechanical/ Plumbing/ Fire

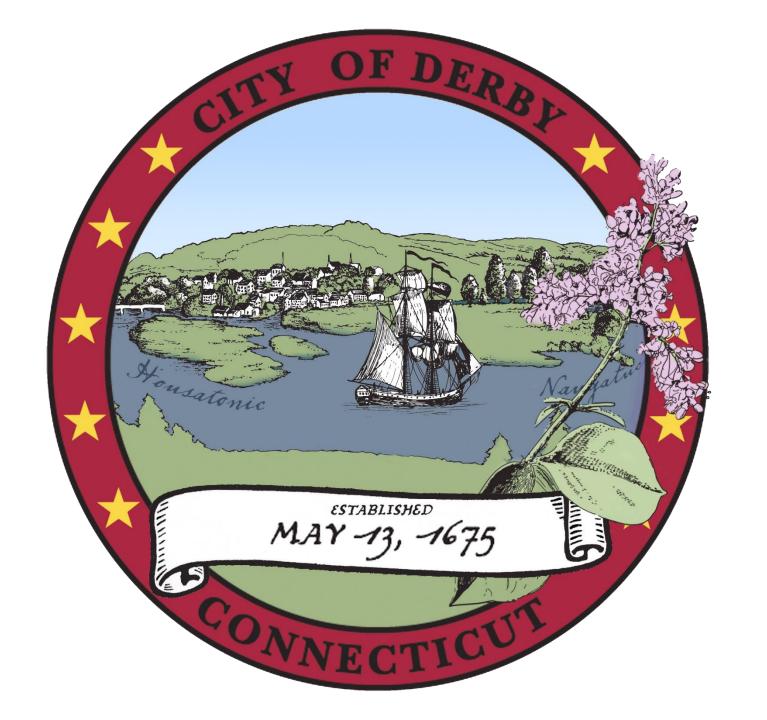
- Fire Protection systems all appear to be functioning properly.
- Required standpipes not observed at the stage further code research required
- Roof mounted equipment is @ 19 years old and getting very close to their end of service life and should be replaced
- Media Center cooling seems insufficient for space, further investigation required to determine if balancing can resolve or if more action is required
- Dual Building Controls in place, Tracer Summit and Johnson Metasys. Future projects should consider combining to one vendor for long term maintenance and compatibility
- Lint traps need to be added to clothes dryer exhaust
- 2 out of 3 were replaced in 2015, the third needs to be replaced as well
- Domestic hot water boilers nearing end of service life and should be scheduled for replacement
- Kiln room make up air louver to be verified for capacity













Facilities: Bradley Site Conditions

Location: 155 David Humphrey Road

Site Size: 16.1 acres

- Bus pick-up/drop-off is satisfactory, parent/child drop off is functional but can be improved
- Parking in the front is adequate but the west (rear) parking area is in poor condition
- Sidewalks are generally satisfactory
- Play areas, courts and athletic fields are all in good condition
- The site is small, limiting opportunities for building expansion



Bradley Elementary



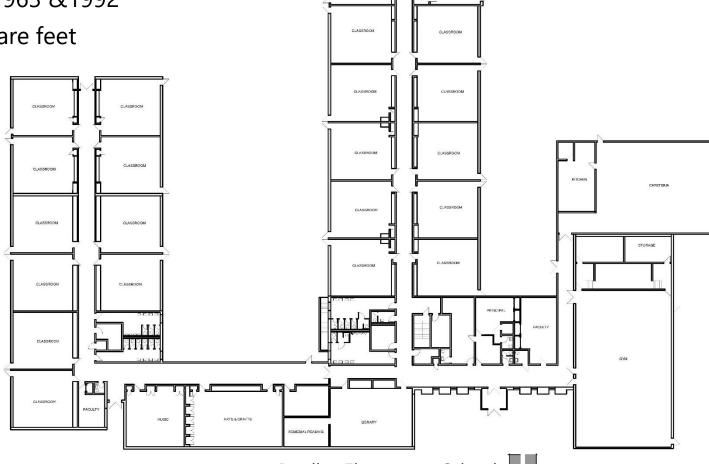






Facilities: Bradley Facility Conditions

- Built in 1960
- Additions 1963 &1992
- 45,500 square feet



Bradley Elementary School











Facilities: Bradley Facility Conditions

Architectural

Electrical

- Egress doors have a greater than 1/2" transition to
 grade
- Classroom sinks are not accessible
- All door push and/or pull maneuvering clearances do not meet code
- Restrooms need renovations and do not meet accessibility requirements. Floor urinals do not meet building codes.
- Many drinking fountains not accessible
- Stage handrails not compliant
- Glazed block in corridors need some repointing
- 9x9 flooring (likely contain asbestos) in majority of spaces, many are cracked
- Spline ceilings should be replaced
- Casework and classroom storage units dated
- Limited gym wall padding
- Restroom used to storage and office space at the gymnasium
- Some doors and frames need refinishing or replacement
- Masonry is spalling, growing mildew, cracking, moving – needs to be cleaned, repointed & sealed
- Old exterior door frames and lintels are rusting
- Furniture is dated

- Existing building has a 600A, 120/208V, 3-Phase service.
- Existing panels are old, but still working. Panels should be replaced over time with new panels.
- Existing lighting is fluorescent, should be replaced with LED.
- Existing fire alarm devices for the most part are old & at some point should be updated.
- Disconnects for split-systems in classrooms are located too high to be accessible.
- Clock/speaker system is old & should be replaced.
- Twinhead fixtures for egress lighting are spaced too far apart. It seems as if the required footcandle average for egress won't be met. Testing should be done to confirm this.
- No manual shutdown was observed in kitchen for ANSUL system, one should be installed.
- Items are stored in front of electrical panels, this is unacceptable by code.
- Occupancy sensors should be added to areas that don't currently have them.
- Exit signage, specifically in the gym doesn't appear to meet code. Exit signs don't appear to be illuminated.









Facilities: Bradley Facility Conditions

Mechanical

- The original boiler plant consisted of two (2) Smith oil fired cast-iron boilers. Further verification of existing oil tank condition is recommended.
- Existing oil-fired cast-iron boiler and associated hot water piping system appear to be original to the building and are beyond their useful life.
- Finned tube radiators, convector and hot water piping system are original to the building and are beyond their useful life.
- Ventilation for classrooms is accomplished by exhaust fans and operable windows, it is not effective since windows are not opened during cold weather months.
- Kitchen exhaust fan has no vented curb and elevation of discharge from roof does not meet code requirement.
- Corridors are lacking ventilation.
- The gymnasium systems appears to be original and are beyond their useful life.
- The cafeteria and music classrooms are served by roof mounted heating and ventilating units with hot water coil. Units are beyond their useful life expectancy.
- There is no cooling except for several spaces with wall mounted air conditioners and ductless split systems serving the library/Media Center.

Plumbing/Fire Protection

- Fixtures, equipment and piping systems, though sometimes dated, are well-maintained.
- Confirm any waste from boiler room and other floor drains is connected to sanitary, not storm.
- Confirm proper backflow prevention for custodial sink faucets and cleaning agent feeds.
- Confirm auto shutdown interlock-Ansul and cooking appliance power.
- Fixture accessibility issues at staff, nurse and one gang toilet bank; and CR's except 4-CR addition.
- Incomplete piping protection at ADA lavs and sinks
- General Conditions: Apparently completely sprinklered (wet system); double check valve assembly (backflow protection); FDC; sprinkler zones for basement and main floor.









Facilities: Irving Site Conditions

Location: 9 Garden Place

Site Size: 4.7 acres

- Site and facility are small
 - Faculty and visitor parking are insufficient
 - Bus parking and parent/child drop off is limited
- Playgrounds are in good condition
 - No turfed lawn or paved play areas available
- Very steep slopes make expansion impractical



Irving Elementary School

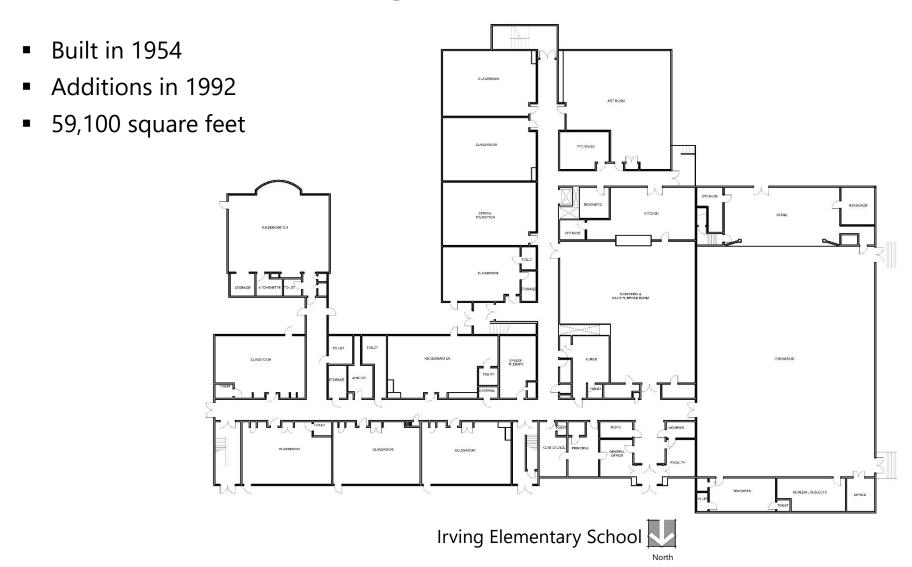








Facilities: Irving Facility Conditions











Facilities: Irving Facility Conditions

Architectural

- Egress doors have a greater than 1/2" transition to grade
- All door push and/or pull maneuvering clearances do not meet code
- Restrooms need renovations and do not meet accessibility requirements. Floor urinals do not meet building codes.
- Some drinking fountains are not accessible
- Stair handrails not code compliant
- Area of refuge needed at stairs
- Glazed block damaged in some areas
- Step cracking through block joints
- 9x9 flooring (likely asbestos) in some areas
- Some casework is dated and should be replaced
- Many doors and frames need refinishing/replacement
- Furniture is dated.
- Interior painting is needed in some areas.
- Some areas baseboard is missing
- All door hardware is not accessible.
- Ceiling stains stairs, restrooms
- Masonry needs repointing in some areas
- Window lintels are rusting
- Mildew at window sills
- Some parging at foundation needs repair





Electrical

- Building has a 600A, 120/208V, 3-Phase service.
- Utility meter is located inside. If there are renovations the utility company might make the meter be relocated on the exterior of the building.
- Majority of panels are old & should be replaced.
- There is duct tape & metal panels covering breaker slots in panels. This is not acceptable by code & should be fixed appropriately.
- No manual shutdown was observed in kitchen for ANSUL system, one should be installed.
- Ductwork & pipes are running above panels, according to code there should be no ductwork or piping run in the dedicated panel space.
- Twinhead fixtures for egress lighting are spaced too far apart. Testing should be done to confirm.
- Occupancy sensors should be added to areas that don't currently have them.
- Pull station is located next to an inaccessible door on stage, this should be removed.
- Some receptacles have been abused.
- Existing disconnects in the utility spaces are in poor conditions & should be replaced.
- Multiple open junction boxes were observed & should be covered up properly.



Facilities: Irving Facility Conditions

Mechanical

<u>Plumbing</u>

- The boilers appear to be in fair but are nearing the end of the service of service life.
- Steam finned tube radiators, convector and steam
 piping system are original & are beyond useful life.
- Ventilation for classrooms is accomplished by exhaust fans & windows, it is not effective since windows are not opened during cold weather.
- Corridors are lacking ventilation.
- The shell and tube heat exchanger and associated pumping are nearing the end of their useful life.
- The Gymnasium indoor air handling unit appears to •
 be original to the building and is well beyond its useful life expectancy.
- The 1995 addition is served by roof mounted heating and ventilating units are beyond their useful life expectancy.
- There is limited cooling for the classrooms.
- Kitchen exhaust fan has no vented curb and elevation of discharge from roof does not meet code.

- Fixtures, equipment and piping systems, though dated, are well-maintained.
- Confirm any waste from (hydraulic) elevator's shaft/machine room has oil interceptor.
- Confirm any waste from boiler room and other floor drains is connected to sanitary, not storm.
- Confirm proper backflow prevention for custodial sink faucets and cleaning agent feeds.
- Older pipe insulation may be hazardous material.
- ADA fixture compliance is lacking
- Incomplete protection of exposed piping at ADA lavs and sinks.
- Completely sprinklered, double check valve assembly (backflow protection).
- Could not find location of control valve for branch sprinkler piping to elevator machine room & shaft.



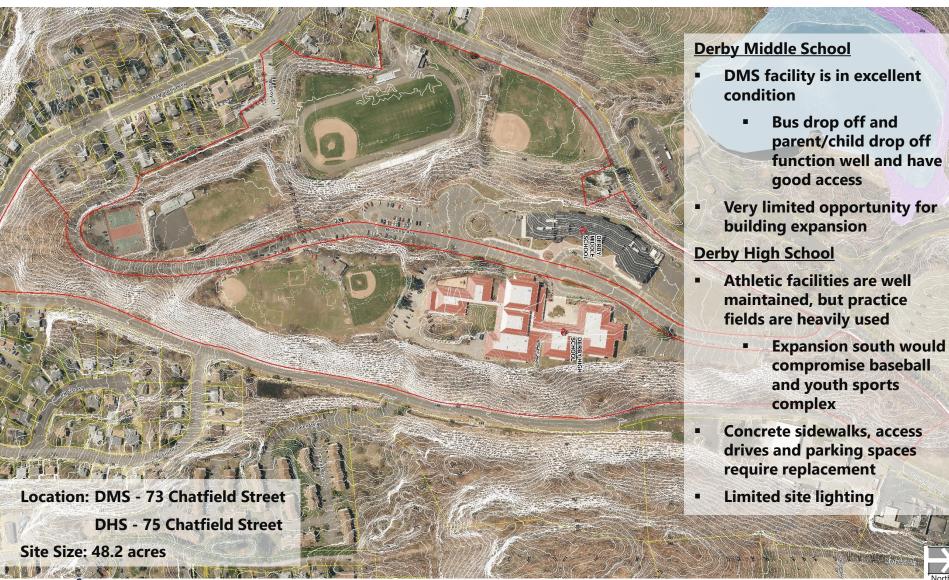








Facilities: DMS & DHS Site Conditions

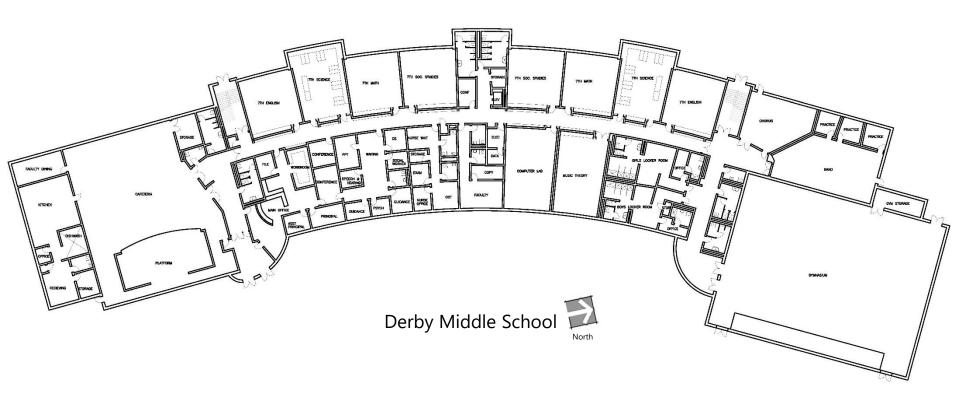








- Built in 2009
- 72,311 square feet











Architecture

- Newer school is in good condition and appears to meet code
- Elevator finishes beginning to wear
- Some ceiling tiles beginning to wear with chipped corners
- Some efflorescence at masonry was noted
- Peeling paint at underside of main floor noted at rear projections

Electrical

- Building has a 1200A, 277/480V 3-Phase service.
- Ductwork & pipes are running above panels, according to current code there should be no ductwork or piping run in the dedicated panel space.
- Some fixtures are missing lenses, these should be replaced.
- Majority of fixtures are LED. Some fixtures were fluorescent or had LED compatible bulbs in the fixture. If they are fluorescent, then they should be replaced in kind with LED.
- Objects are stored in electrical rooms in front of the panels, this is not acceptable to code.
- Several panels had duct tape covering up breaker slots in panels, or just had an open section to the panel. Duct tape needs to be removed & replaced with a spare breaker or space.
- Illuminated signage for area of refuge is missing.









Mechanical

- The building is provided with energy efficient heating, ventilation and cooling systems. The systems appear to be installed in accordance with applicable codes.
- Kitchen hood exhaust and gas fired make-up air system complete with controller are provided. Existing controller may need to be upgraded to provide demand control ventilation.
- IT room in the lower level does not have thermal control. Providing a ductless split air conditioning system is recommended to maintain proper operating environment for IT equipment.

Plumbing & Fire Protection

- Fixtures, equipment, piping systems are in excellent condition.
- Good ADA fixture compliance throughout.
- Radon removal systems were found.
- General Conditions: Completely sprinklered (wet and dry systems); backflow preventer not found (meter vault?); Siamese FDC; wet sprinkler zones for basement and main floor.
- No apparent concerns (except to confirm backflow preventer location).

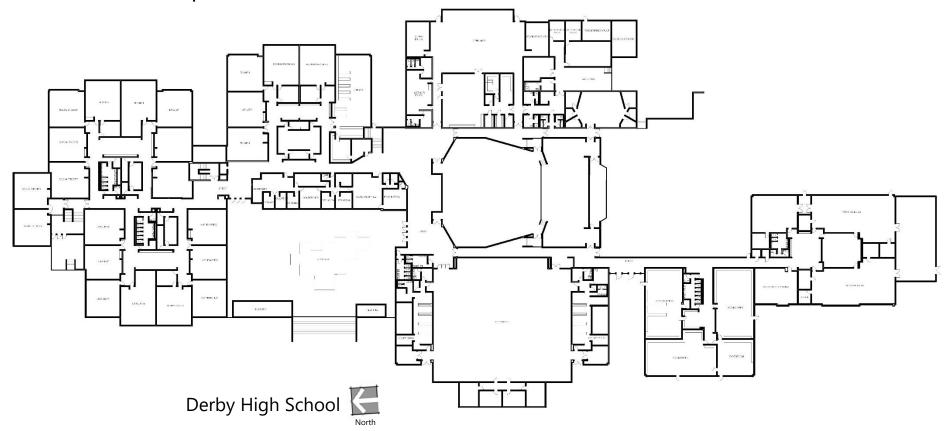








- Built in 1968
- 144,350 square feet











Architecture

- Most egress doors have a greater than 1/2" transition to grade.
- All door push and/or pull maneuvering clearances do not meet code.
- Restrooms need renovations and do not meet accessibility requirements. Floor urinals do not meet building codes.
- Some drinking fountains not accessible.
- Ceilings are sagging in many locations.
- 9x9 floor tile throughout most of the building.
- Kitchenette is not code compliant.
- Gym floor & wood shop floor needs replacement.
- Locker rooms need renovations.
- Doors and frames need refinishing or replacement.
- Sinks at tech/wood shop are not code compliant.
- Science is dated with no accessible workstations.
- Lockers are moving on bases in corridors.
- Some windows and doors are old with wire glazing and need to be replaced.
- Exterior slate need repointing
- Some exterior doors are old with peeling paint.
- Masonry is spalling in some areas.

<u>Electrical</u>

- Existing building has a 4000A, 277/480V 3-Phase service
- Everything in the building is electric, concerns would be a high utility bill
- Majority of the panels are old, but still working.
 Panels should be replaced over time with new panels.
- No manual shutdown was observed in kitchen for ANSUL system, one should be installed.
- Utility meter is located inside. If there are renovations to the building the utility company might make the meter be relocated on the exterior of the building.
- Several plywood backboards are missing fireretardant paint, these will need to be painted.
- Emergency lighting system is outdated & should be replaced.
- Existing lighting in the facility is fluorescent & should be replaced with LED.
- Transformers throughout the facility are old & nearing the end of their useful life. They should be replaced.









Electrical continued

- Panels in auditorium are mounted higher than the current code allows. When they were installed it was most likely code compliant.
- Several areas had open junction boxes in the wall, these should be sealed.
- Some rooms where electrical panels are located are not fire rated rooms.
- Wiring & cabling are not properly supported in several areas.
- Areas of refuge are missing the proper illuminated signage.
- No elevator recall smoke detectors were observed.
- No smoke or heat detectors were observed in the elevator machine room.
- Receptacles in areas were abused & should be replaced.
- Occupancy sensors should be added to areas that don't currently have them.

Mechanical

- Building heating system is all electric. All existing systems in the building are beyond their useful life.
- Control system is pneumatic and electric.
 System is antiquated and is beyond its useful life.
- Classrooms are provided with unit ventilator with multistage electric heating element.
 Ventilation is accomplished by roof mounted ventilators and OA air intake grille at the unit ventilator.
- Corridors and vestibules are provided with electric wall heaters.
- Corridors have insufficient ventilation.
- Cafeteria is provided with multiple unit ventilators and a roof mounted relief ventilator.
- Kitchen Hood Exhaust and gas fired make-up air system complete with controller are installed in 2016. Existing controller may need to be upgraded to comply with current codes.
- Kitchen Area heating and ventilation unit is beyond its useful life.









Mechanical continued

- Gymnasium is served by and indoor air handling unit with electric heating, located in the fan room, and roof mounted relief ventilators. This system appears to be original to the building and is well beyond its useful life
- Boys and Girls Locker rooms are each served by an indoor air handling unit with electric heating, located in the fan room, and roof mounted relief ventilators. These systems appear to be original to the building and are well beyond its useful life.
- Exhaust fans serving toilet rooms and storage rooms are well beyond their useful life.
- Corridors are lacking ventilation.

Plumbing & Fire Protection

- Fixtures, equipment, piping systems, though dated, are well-maintained. Natural gas serves science labs and the kitchen's cooking equipment and makeup air unit.
- There is no central domestic water heating plant; instead, electric storage heaters are located near the fixtures/equipment they serve, the largest of which are two 500-gallon electric storage heaters which serve gym area showers.
- Hot water recirculation was not found for any of the domestic water heating systems. Domestic water heaters other than the 500-gallon systems are of recent vintage.
- Lab drainage and vent piping appears to be glass.
- Most roof drainage is achieved via perimeter gutters and leaders. When present, roof drains are in good shape; most emergency drainage is spillage over low or no-lip roof edges.
- There is limited ADA fixture compliance in the facility.









Plumbing & Fire Protection continued

- A couple of radon removal systems were found.
- Confirm any waste from (hydraulic) elevator's shaft/machine room has oil interceptor
- Confirm any waste from floor drains is connected to sanitary, not storm
- Fixture ADA compliance is limited to mostly gang toilet rooms.
- Pipe protection lacking on some otherwise accessible lavatories, hand sinks and counter sinks
- No automatic Fire Protection Sprinkler systems in building. Certain spaces are required to either have sprinkler protection fed from the building water supply, be fire-separated from the rest of the building or be limited in square footage. Storage rooms require review for compliance with the above requirements. Stage area must be verified, as stages of 1000 SF or more require standpipes.











Questions?





